

41, 45, and 47 West Main Street Façade Remodel Changes Project Narrative

Overview

The façade remodels included in this submittal are part of the larger City of Mesa project to revitalize the downtown streetscape by restoring the historic character of individual properties and by providing enhancements that improve the urban vitality and pedestrian-oriented features. In the first round, seven properties' façades were remodeled and the façades included in this request were previously approved in 2017.



Existing front elevation of 41, 45, and 47 West Main Street with existing colonnade



Elevations Previously Approved in 2017

Unfortunately, the City was not able to build all the approved façades. The bids that were received were severely over budget and the designs had to be revised. The façades for the three building have been revised to provide a more historically appropriate and modest front façade which will still provide the facelift that these buildings severely need. The existing colonnade that spans the three buildings will be removed. In addition, to help refresh the façade, the existing cornice currently located below the parapet will be cleaned up and repainted and the existing brick will be power washed, and the mortar will be repointed as needed.



Proposed Elevations

41 West Main Street

DRB17-00114

The existing colonnade will be removed and replaced with a new metal canopy, storefront door and taller window system. The new canopy will be self-supported, is made of 12" wide steel beams and metal deck supported by metal columns. The canopy and columns will be painted black to give it a more modern aesthetic and will provide significant shade over the pedestrian walkway. New exterior light fixtures will also be provided under the new canopy. The new canopy will have a clear height of 10'-5" which will provide increased visibility into the storefront and will provide an updated, refreshed, and attractive façade.

45 West Main Street

DRB17-00115 Linton-Milano Pianos

The existing colonnade will be removed and replaced with a new storefront door and window system. A 4' deep awning will be provided. The existing storefront is damaged to the point that the door does not close. The new storefront window and door system will be taller to allow more visibility into the store.

47 West Main Street LeStudio

DRB17-00116

Remove existing steel columns adjacent to the building and remove the existing colonnade projecting into the right-of-way. The light fixtures mounted under the existing colonnade will also be removed and replaced. The existing 32'-2" storefront will remain. There will be 48" x 96" 9MM thick polished tiles added to the area above the three new canopies that will be installed over the front façade.

CITY OF MESA: DOWNTOWN FACADE IMPROVEMENTS

Project #: CP0871 AND HUD #: IDIS 752

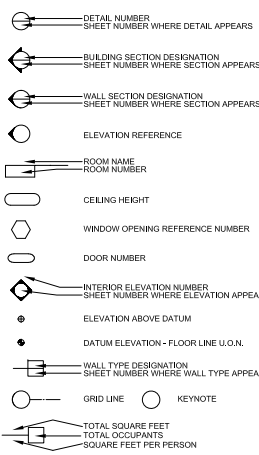
Tenants 41, 45, and 47 W. Main Street

Mesa, AZ 85201

ABBREVIATIONS

A	Acc	Adm	Adm
B	Beam	Bldg	Bldg
C	Case	Can	Can
D	Dat	Dat	Dat
E	Elev	Elev	Elev
F	Fin	Fin	Fin
G	Gen	Gen	Gen
H	Hall	Hall	Hall
I	Inf	Inf	Inf
J	Jan	Jan	Jan
K	Kitchen	Kitchen	Kitchen
L	Lab	Lab	Lab
M	Mech	Mech	Mech
N	Nat	Nat	Nat
O	Off	Off	Off
P	Plat	Plat	Plat
Q	Qtr	Qtr	Qtr
R	Rec	Rec	Rec
S	Stair	Stair	Stair
T	Tel	Tel	Tel
U	Unl	Unl	Unl
V	Ven	Ven	Ven
W	Win	Win	Win
X	X-ray	X-ray	X-ray
Y	Yard	Yard	Yard
Z	Zoo	Zoo	Zoo

DRAWING SYMBOLS



CONSULTANTS

ARCHITECTS/PLANNERS:
ADAPTIVE ARCHITECTS INC
48 WEST MAIN STREET
MESA, AZ 85201
(480) 855-0333

STRUCTURAL ENGINEERS:
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TAMPE, AZ 85281
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CONTACT: TOM MORRIS

ELECTRICAL ENGINEERS:
PROFESSIONAL CONSULTING ENGINEERS
2300 N. 17TH AVE.
SUITE 230
PHOENIX, AZ 85027
602-476-6414
CONTACT: RICH KURELOWECH

DRAWING INDEX

TITLE SHEET	TS
ARCHITECTURAL	A1.0 EXISTING / DEMOLITION PLANS & ELEVATIONS A1.1 NEW CONSTRUCTION PLANS & ELEVATIONS A1.2 NEW CONSTRUCTION PLANS AND SECTION STAIRS A1.3 NEW CONSTRUCTIONS AT WALL AND CANOPY STRUCTURES A1.4 DOOR/WINDOW SCHEDULES AND DETAILS/SECTIONS A1.5 DETAILS
STRUCTURAL	S1.1 GENERAL STRUCTURAL NOTES S2.1 FOUNDATION AND FRAMING PLANS S3.1 TYPICAL AND FOUNDATION DETAILS S4.1 FRAMING DETAILS
ELECTRICAL	E0.1 ELECTRICAL SYMBOLS AND NOTES E0.2 ELECTRICAL SPECIFICATIONS E1.0 ELECTRICAL PLAN

PROJECT DATA

CITY OF MESA GOVERNING CODES:
MESA ADMINISTRATIVE CODE
MESA EXISTING BUILDING CODE
2006 INTERNATIONAL BUILDING CODE
2006 INTERNATIONAL RESIDENTIAL CODE
2005 NATIONAL ELECTRICAL CODE
2006 INTERNATIONAL PLUMBING CODE
2006 INTERNATIONAL MECHANICAL CODE
2006 INTERNATIONAL FUEL GAS CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE

ALL SIGNAGE APPROVAL REQUIRES A SEPARATE PERMIT.

NEW FIRE SPRINKLER SYSTEM FOR THE EXTERIOR IMPROVEMENTS OF 41 W. MAIN STREET IS REQUIRED, BOTH THE BUILDING AND THE NEW BALCONY DECK AREA WILL NEED TO BE FIRE SPRINKLERED UNDER A DEFERRED SUBMITTAL.

PROJECT SUMMARY:
DEMOLITION OF EXISTING COLONNADE STRUCTURES, NEW FACADE IMPROVEMENTS CONSIST OF: SHADE CANOPIES/AWNING, NEW EXTERIOR LIGHTING AND NEW STOREFRONTS. SCOPE OF WORK IS EXTERIOR ONLY. NO INTERIOR WORK. 41 WEST REQUIRES FIRE SPRINKLERS THROUGHOUT INCLUDING THE CANOPY.

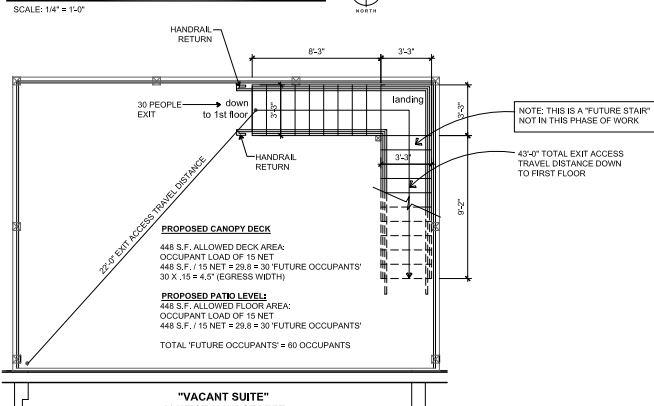
ASSEMBLY GROUP A-2 - SECTION 303.1
OCCUPANCY INCLUDES ASSEMBLY USES INTENDED FOR FOOD AND/OR DRINK CONSUMPTION INCLUDING, BUT NOT LIMITED TO:

EGRESS WIDTH PER OCCUPANT SERVED
WITH SPRINKLER SYSTEM = 15 INCHES PER OCCUPANT

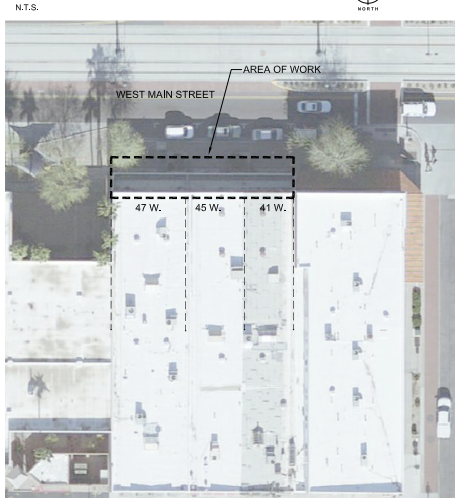
CONSTRUCTION TYPE
ALL BUILDINGS ARE TYPE VB CONSTRUCTION

NUMBER OF EXITS AND CONTINUITY - SECTION 1019
1091.1 MINIMUM NUMBER OF EXITS, ALL ROOMS AND SPACES WITHIN EACH STORY SHALL BE PROVIDED WITH AND HAVE ACCESS TO THE MINIMUM NUMBER OF APPROVED INDEPENDENT EXITS REQUIRED BY TABLE 1091.1 BASED ON THE OCCUPANT LOAD OF THE STORY.

CODE DIAGRAM



VICINITY MAP



"VACANT SUITE" 41 WEST MAIN STREET

TABLE 1051.1 SPACES WITH ONE MEANS OF EGRESS	
OCCUPANCY	MAXIMUM OCCUPANT LOAD
A,B,E,F,M,U	49

EXIT AND EXIT ACCESS DOORWAYS - SECTION 1015
1015.1 EXIT OR EXIT ACCESS DOORWAYS REQUIRED, TWO EXITS OR EXIT ACCESS DOORWAYS FROM ANY SPACE SHALL BE PROVIDED WHERE ONE OF THE FOLLOWING CONDITIONS EXISTS:

1. THE OCCUPANT LOAD OF THE SPACE EXCEEDS THE VALUES IN TABLE 1015.1
2. THE COMMON PATH OF EGRESS TRAVEL EXCEEDS THE LIMITATIONS OF SECTION 1014.3
3. WHERE REQUIRED BY SECTIONS 1015.3, 1015.4, 1015.5.

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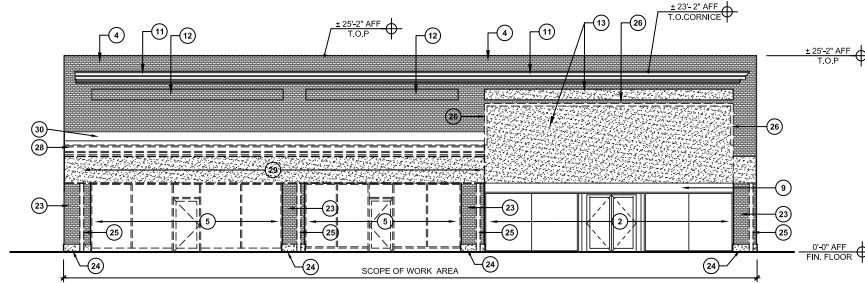
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DOWNTOWN FACADE IMPROVEMENTS
41, 45, 47 WEST MAIN STREET
MESA, AZ 85201

TITLE SHEET TS

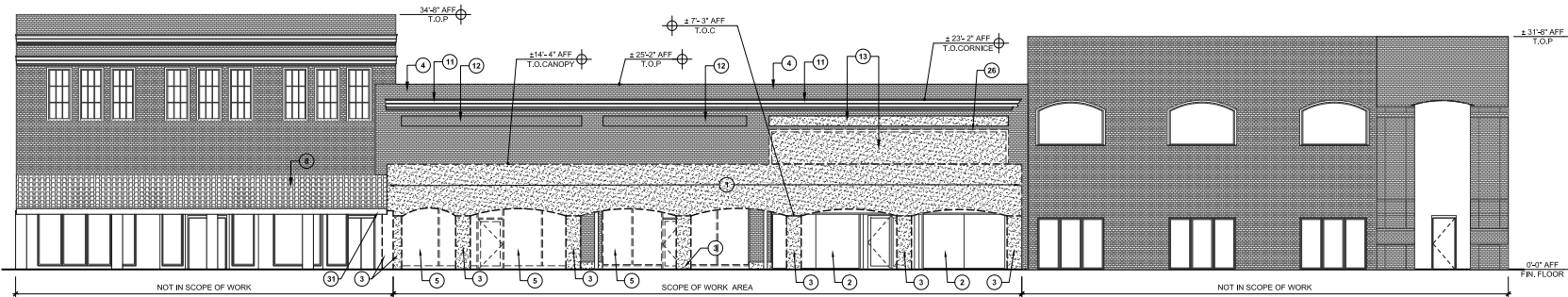
DRAWING NO. A-195579A

3088 VINCENT P. CHELLA
REGISTERED PROFESSIONAL ENGINEER
EXPIRES 2/31/20

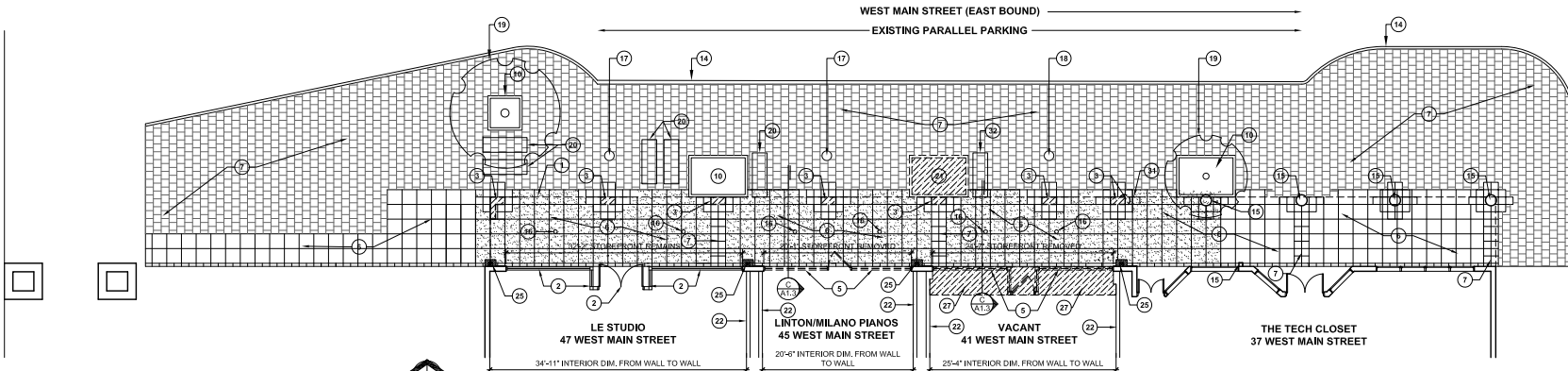
ACTIVITY PROJ. NO. 1 SHEET OF 14 CATALOG NUMBER: A-195579A



1 EXISTING / DEMOLITION NORTH ELEVATION - STOREFRONT SCOPE OF WORK AREA
SCALE: 1/8" = 1'-0"



2 EXISTING / DEMOLITION NORTH ELEVATION - ARCADE FACADE
SCALE: 1/8" = 1'-0"



3 EXISTING/DEMOLITION SITE/FLOOR PLAN
SCALE: 1/8" = 1'-0"

EXISTING / DEMOLITION KEYNOTES

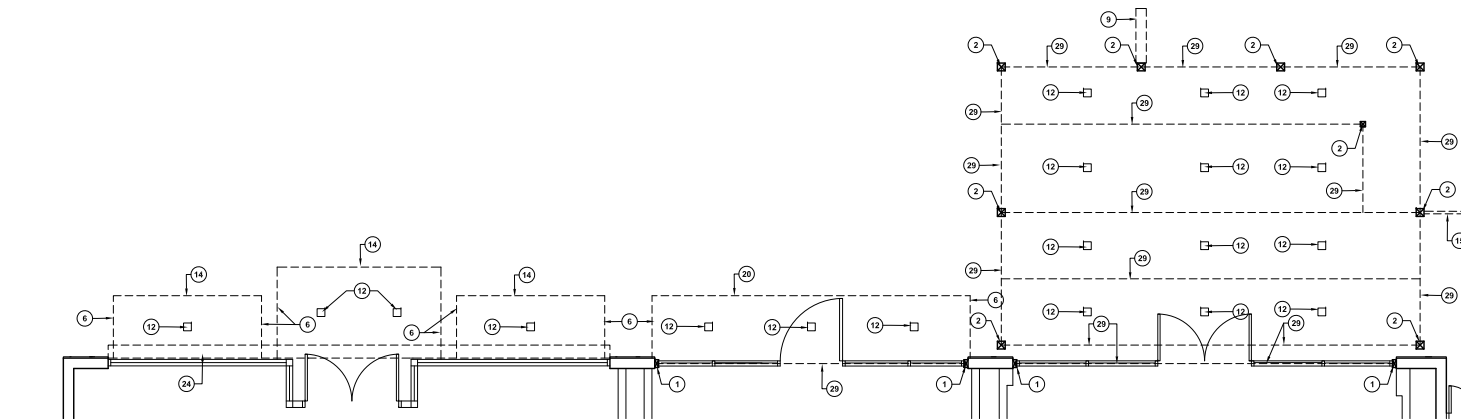
- 1 EXISTING CANOPY STRUCTURE & FACADE TO BE REMOVED
- 2 EXISTING STOREFRONT SYSTEM REMAINS
- 3 EXISTING CANOPY COLUMN TO BE REMOVED
- 4 EXISTING BRICK FACADE. REMOVE ALL EXISTING NON USED CONDUITS, CLAMPS, WALLS, ANCHORS AND OTHER SIMILAR DEVICES
- 5 EXISTING STOREFRONT DOOR & WINDOW SYSTEM TO BE REMOVED
- 6 EXISTING CONCRETE SIDEWALK REMAINS
- 7 EXISTING DECORATIVE PAVERS REMAIN
- 8 EXISTING TILE ROOF TO REMAIN
- 9 EXISTING ROLLING SERVICE DOOR REMAINS
- 10 EXISTING PLANTER REMAINS
- 11 EXISTING CORNICE REMAINS
- 12 EXISTING RECESSED BRICK DETAIL
- 13 EXISTING PAINTED BRICK
- 14 EXISTING FACE OF CURB
- 15 EXISTING COLUMN REMAINS
- 16 EXISTING LIGHT FIXTURE ABOVE TO BE REMOVED
- 17 EXISTING LIGHT POLE FIXTURE TO BE REMAIN
- 18 EXISTING LIGHT POLE FIXTURE TO BE REMOVED & SALVAGE TO CITY OF MESA. PROVIDE CONCRETE VAULT AND COVER FLUSH WITH PAVEMENT TO RE-CONNECT CIRCUITS. FIELD-VIEW EXISTING CONDITIONS.
- 19 EXISTING TREE REMAINS
- 20 EXISTING STREET BENCHES REMAIN
- 21 EXISTING PLANTER TO BE REMOVED AND REPLACED WITH DECORATIVE PAVERS TO MATCH EXISTING
- 22 EXISTING DEMISING WALL (PARTY WALL) REMAINS
- 23 POWERWASH BRICK; REMOVE PAINT
- 24 EXISTING CEMENT PLASTER HANSSCOT TO REMAIN
- 25 REMOVE EXISTING TUBE STEEL COLUMN (AT THESE LOCATIONS. SAWCUT AND REMOVE EXISTING PAVEMENT AROUND COLUMN AND REPLACE WITH NEW CONCRETE PAVEMENT TO MATCH TYPICAL)
- 26 REMOVE EXISTING CEMENT PLASTER POP OUT/TRM.
- 27 SAW CUT AND REMOVE EXISTING CONCRETE SLAB TO TRANSITION TO EXTERIOR GRADE. SEE CONSTRUCTION PLAN.
- 28 REMOVE EXISTING ROOF FLASHING
- 29 REMOVE EXISTING FRAME WALL AND FINISH
- 30 EXISTING STEEL BRICK LEDGER / LINTEL TO REMAIN
- 31 SHORE EXISTING CANOPY. STRUCTURE TO REMAIN. SEE CONSTRUCTION PLANS
- 32 EXISTING STREET BENCHES TO BE REMOVED

GENERAL DEMOLITION NOTES

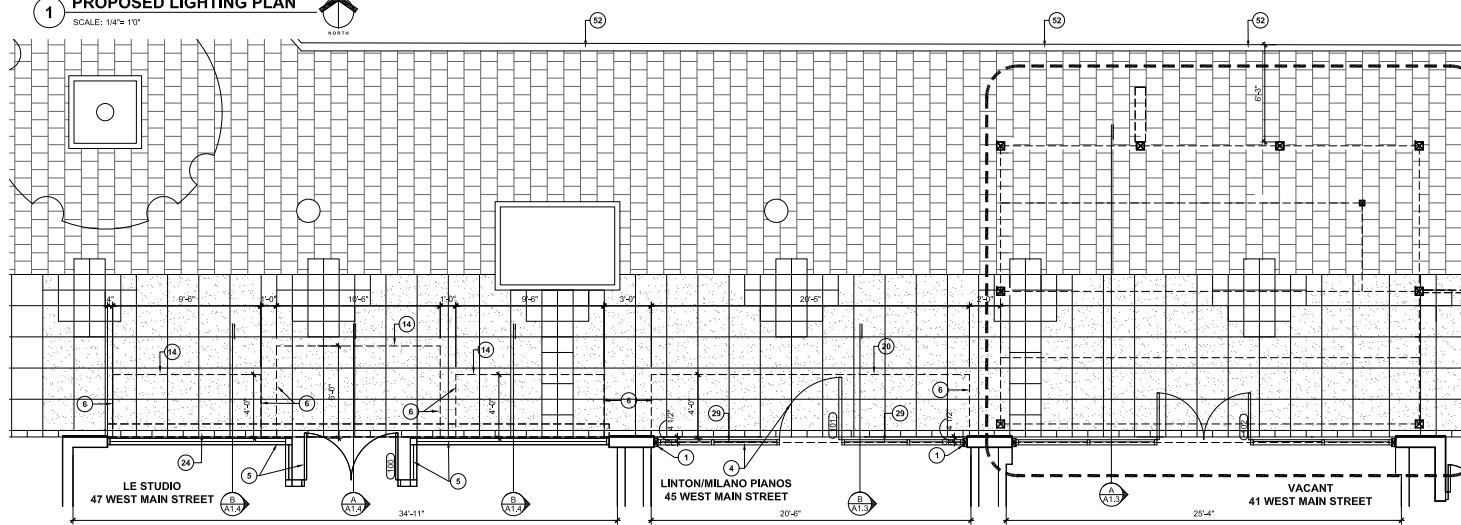
1. SALVAGE ALL EXISTING CONCRETE PAVERS FOR REUSE IN THE PROJECT. EXCESS PAVERS TO BE RETURNED TO CITY OF MESA.
2. PROTECT EXISTING PAVEMENT AREAS FROM DAMAGE DURING DEMOLITION AND CONSTRUCTION OPERATIONS. ALL DAMAGED MATERIALS SHALL BE REPLACED IN-KIND.
3. ALL DEMOLITION AREAS MAY NOT BE SHOWN. SEE CONSTRUCTION PLANS PRIOR TO DEMOLITION ACTIVITIES AND COORDINATE REQUIREMENTS.
4. PROVIDE ALL TEMPORARY SHORING AND WEATHER PROTECTION WALLS AS REQUIRED TO MAINTAIN EXISTING STRUCTURE INTEGRITY AND PROTECT INTERIOR OCCUPIED SPACES.
5. MAINTAIN ALL EXITS TO EXISTING OCCUPIED SPACES. IF PROTECTION WALLS INTERRUPT EXITS, PROVIDE DOORS AND HARDWARE IN PROTECTION WALLS AS REQUIRED.

DATE PRINTED: \$0.00 \$FILES

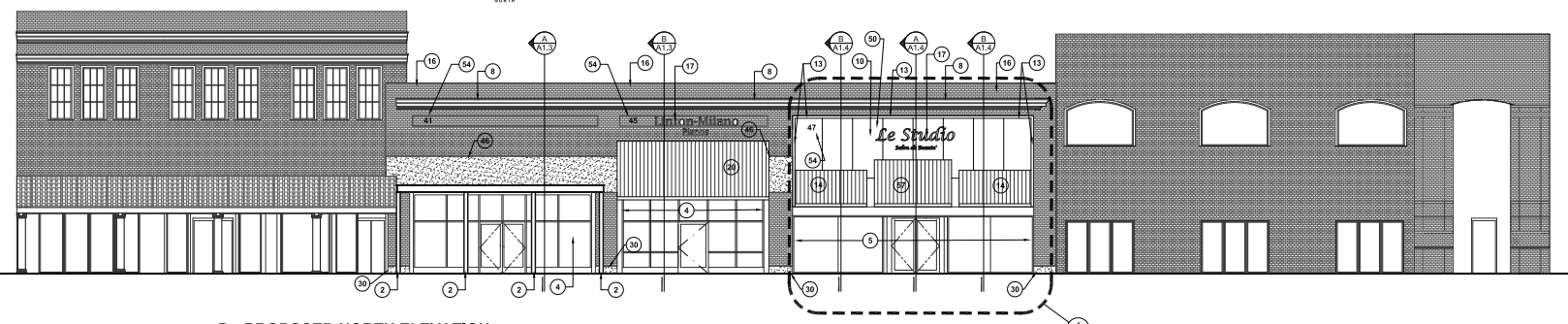
	JOB NO. 1721 adaptive ARCHITECTS 3101 S. Greenway Suite 225 Mesa, AZ 85204 480.615.0613 info@adaptivearchitects.com
	CITY OF MESA ENGINEERING DEPARTMENT DOWNTOWN FACADE IMPROVEMENTS 41, 45, 47 WEST MAIN STREET MESA, AZ 85201
EXISTING/DEMOLITION PLANS & ELEVATIONS	DRAWING NO. A1.0
ACTIVITY: PRJ. NO.:	SHEET 2 OF 14 CATALOG NUMBER: A-195580



1 PROPOSED LIGHTING PLAN
SCALE: 1/4" = 1'



2 PROPOSED SITE/FLOOR PLAN
SCALE: 1/4" = 1'



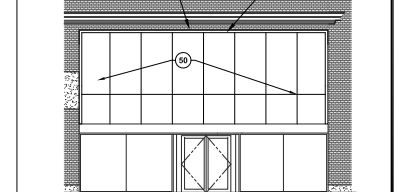
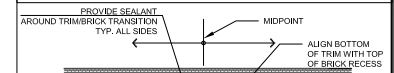
3 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'

CONSTRUCTION KEYNOTES (SOME KEYNOTES MAY NOT APPLY)

- 1 NEW STEEL COLUMN: PAINT DARK ANODIZED: SEE STRUCT. DWGS.
- 2 NEW STEEL COLUMN: EXPOSED DO NOT PAINT, SEE STRUCT. DWGS.
- 3 NEW STOREFRONT DOOR AND WINDOW SYSTEM
- 4 EXISTING STOREFRONT REMAINS
- 5 ENCLOSE AWNING END WITH METAL PANEL SYSTEM, PROVIDE ALL TRIM & ACCESSORIES, PANEL TO MATCH CANOPY PROFILE
- 6 CLEAN AND PREPARE EXISTING CORNICE FOR NEW PAINT; COLOR AS SELECTED BY OWNER.
- 7 NEW MARQUEE SIGN LOCATION - NOT IN CONTRACT, REQUIRES SEPARATE PERMIT & APPROVAL
- 8 CEMENT PLASTER SCRATCH COAT OVER EXISTING BRICK TO PREPARE SURFACE TO ACCEPT NEW WALL TILE.
- 9 NEW LIGHT FIXTURE, SEE ELECTRICAL DWGS.
- 10 NEW FOAM POP OUT TRIM WITH SMOOTH CEMENT PLASTER FINISH, MATCH EXISTING WIDTH X 2" THICK, PROVIDE COMPLETE SURROUND AT NEW TILE APPLICATION, PAINT TRIM: COLOR SELECTED BY OWNER.
- 11 PRE-FINISHED STEEL METAL PANEL BY ATAS INTERNATIONAL INC. DUTCH STANDING SEAM COLOR: GRAY
- 12 EXISTING WOOD BEAM REMAINS
- 13 EXISTING EXTERIOR BRICK WALL: POWER WASH (2800 PSI MAX), RE-POINT MORTAR AS NEEDED
- 14 NON-ILLUMINATED SIGN, NOT IN CONTRACT - REQUIRES SEPARATE PERMIT & APPROVAL. PAINT OVER EIFS TRIM - MANUF: DUNN EDWARDS; DE5069 BANISTER BROWN
- 15 PRE-FINISHED STEEL METAL PANEL BY ATAS INTERNATIONAL INC. DUTCH STANDING SEAM COLOR: BLACK
- 16 EXISTING CONCRETE BEAM AND STEEL BRICK LEDGER
- 17 EXISTING WOOD FRAME CONSTRUCTION
- 18 EXISTING WALL ASSEMBLY TO REMAIN
- 19 EXISTING ROLLING SERVICE DOOR
- 20 NEW COLUMN BEYOND: SEE STRUCT. DWGS.
- 21 NEW STEEL ANGLE BRACE AT 24" O.C. ANCHORED TO WALL, PAINT FLAT BLACK
- 22 EXISTING CONCRETE SLAB
- 23 NEW BEAM ABOVE, SEE STRUCT. DWGS.
- 24 RE-PLASTER WAINSCOT AND PAINT TYP.
- 25 2"x2" T.S. VERTICAL POST @ GUARDRAIL TYP.
- 26 NEW WIDE-FLANGE STEEL BEAM TYP., SEE STRUCT. DRAWINGS
- 27 NEW METAL DECK
- 28 REMOVE 2X WOOD INFILL WALL
- 29 REMOVE WOOD BEAM
- 30 REMOVE STOREFRONT SYSTEM
- 31 NEW EIFS PAINT TO MATCH MANUF: DUNN EDWARDS; DE5263 SONORA SHADE (3-COAT CEMENT PLASTER FINISH ACCEPTABLE ALTERNATIVE) SMOOTH FINISH
- 32 NEW 5/8" GYPSUM BD., PAINT
- 33 NEW WOOD STUD WALL INFILL, SEE STRUCTURAL DWGS.
- 34 NEW GULAN WOOD BEAM, SEE STRUCTURAL DWGS.
- 35 NEW LARGE FORMAT TILE: ANIMA CALACATTA-CRO 48" X 95" 9MM THICK POLISHED 4" GROUT JOINT, INSTALL IN ACCORDANCE WITH TCNA W201, CONTACT HEATHER AT KÄRBER TILE 4803221180/wh@karber.com
- 36 NEW CONCRETE FOOTING, PER STRUCTURAL DWGS.
- 37 LINE INDICATES FACE OF CURB
- 38 ADDRESS NUMBER, MINIMUM 12" HIGH WITH 2" STROKE ON CONTRASTING BACKGROUND, PER SECTION FPD 605.1 & FPC 605.1
- 39 SAW CUT AND REMOVE EXISTING CONCRETE SLAB AT SUITE 41 ONLY TO PROVIDE TRANSITION TO EXISTING EXTERIOR CONCRETE SLAB
- 40 NEW 4" THICK CONCRETE SLAB SLOPED AT 2% FROM EXISTING EXTERIOR SLAB GRADE TO EXISTING FINISH FLOOR ELEVATION
- 41 PRE-FINISHED STEEL METAL PANEL BY ATAS INTERNATIONAL INC. DUTCH STANDING SEAM COLOR: ANODIZED BRONZE

GENERAL FLOOR PLAN NOTES

1. PAVEMENT REPLACEMENT REQUIRED BY DEMOLITION AND CONSTRUCTION ACTIVITIES MAY NOT BE SHOWN. CONTRACTOR TO VERIFY LOCATIONS AND QUANTITIES.
2. ALL PAVEMENT MATERIALS SHALL BE REPLACED WITH LIKE MATERIALS AND FINISHES. CONCRETE PAVERS MAY BE RE-USED FROM SALVAGE STOCK. CONCRETE REPLACEMENT SHALL BE NEW MEETING MAG STANDARDS AS REQUIRED BY CITY OF MESA.



4 WALL TILE ELEVATION
SCALE: 1/8" = 1'

JOB NO. 1721

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CITY OF MESA
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DOWNTOWN FACADE IMPROVEMENTS
41, 45, 47 WEST MAIN STREET
MESA, AZ 85201

NEW CONSTRUCTION PLANS AND ELEVATIONS

DATE: 08/08/2024
DESIGNED BY: VINCENT P. O'BELLA
CHECKED BY: [Signature]
EXPIRES: 3-31-20

ACTIVITY: PRJ. NO.: 3

SHEET OF: 14

CATALOG NUMBER: A-195581

DRAWING NO.: A1.1

DATE PRINTED: \$0.00 \$FILES



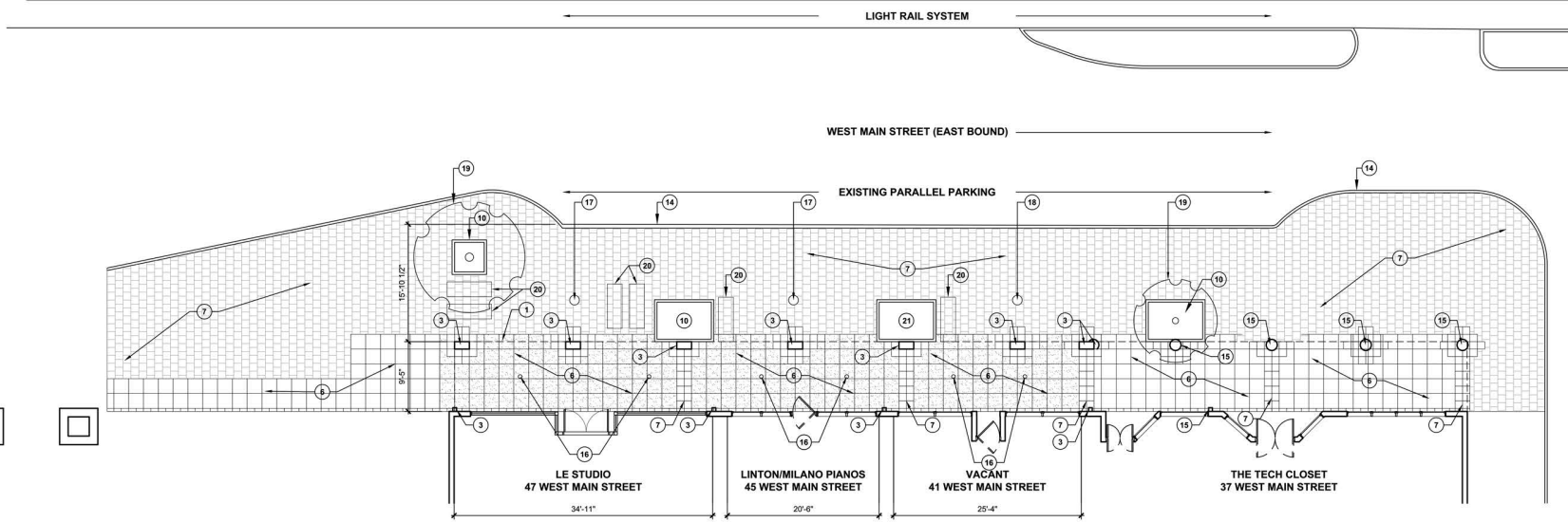
HISTORICAL PHOTOS

EXISTING PHOTOS

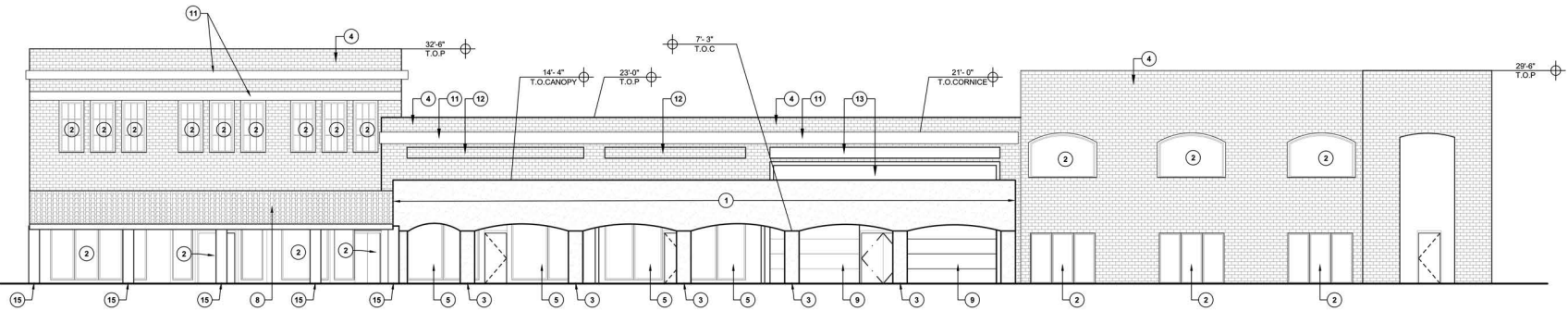
EXISTING CONDITIONS KEYNOTES

- ① EXISTING CANOPY STRUCTURE TO BE REMOVED
- ② EXISTING WINDOW SYSTEM
- ③ EXISTING CANOPY COLUMN TO BE REMOVED
- ④ EXISTING BRICK FACADE
- ⑤ EXISTING DOORSTOREFRONT SYSTEM TO BE REMOVED
- ⑥ EXISTING CONC. SIDEWALK
- ⑦ EXISTING PAVERSTONE PAVEMENT
- ⑧ EXISTING TILE ROOF
- ⑨ EXISTING ROLLING SERVICE DOOR
- ⑩ EXISTING PLANTER
- ⑪ EXISTING CORNICE
- ⑫ EXISTING RECESSED BRICK DETAIL
- ⑬ EXISTING PAINTED BRICK
- ⑭ EXISTING FACE OF CURB
- ⑮ EXISTING COLUMN
- ⑯ EXISTING LIGHT FIXTURE ABOVE TO BE REMOVED
- ⑰ EXISTING LIGHT FIXTURE TO BE REMAIN
- ⑱ EXISTING LIGHT POLE FIXTURE TO BE REMOVED
- ⑲ EXISTING TREES
- ⑳ EXISTING STREET BENCHES
- ㉑ EXISTING PLANTER TO BE REMOVED AND FILLED

VICINITY MAP



1 EXISTING SITE/FLOOR PLAN
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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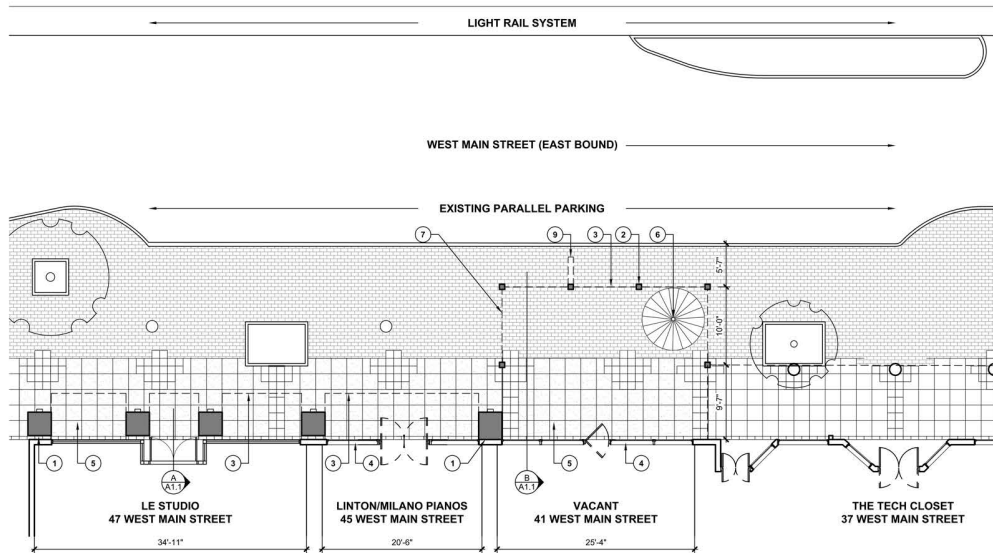
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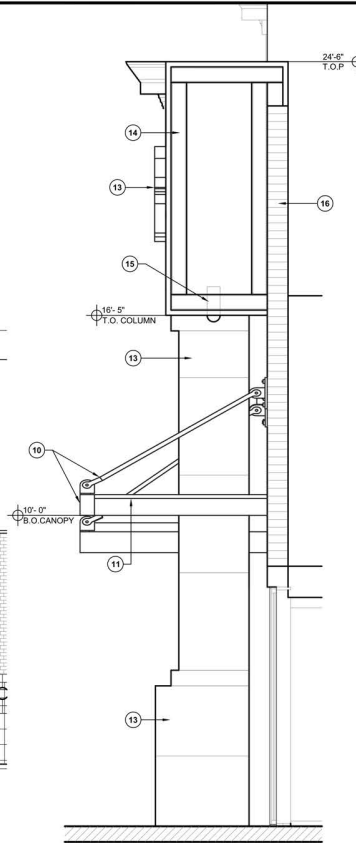
EXISTING ELEVATIONS & FLOOR PLANS

DRAWING NO. **A1.0**

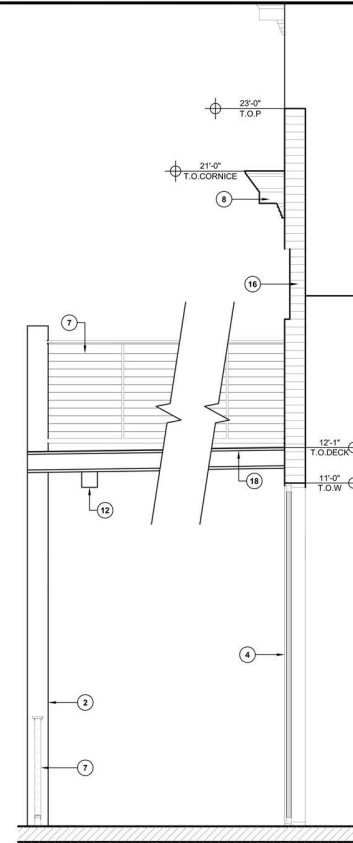
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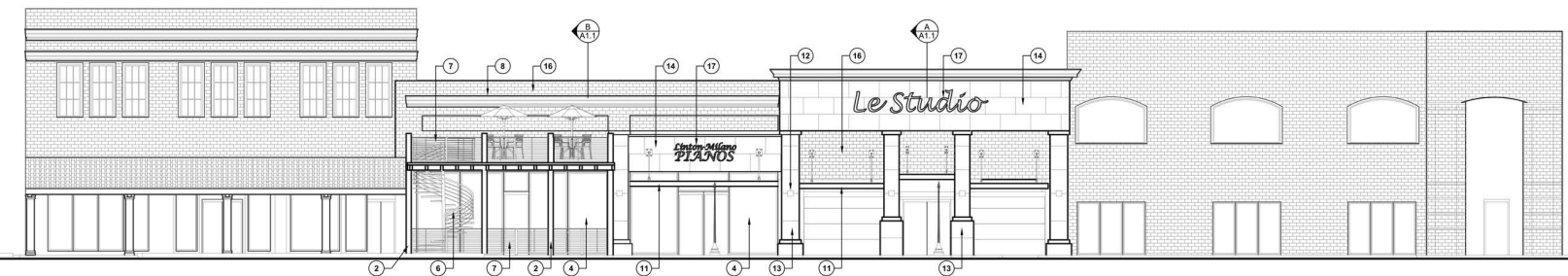
1 PROPOSED SITE/FLOOR PLAN
SCALE: 1/8" = 1'-0"



A WALL SECTION
SCALE: 1/2" = 1'-0"



B WALL SECTION
SCALE: 1/2" = 1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/8" = 1'-0"

CONSTRUCTION KEYNOTES

- 1 NEW COLUMN BASE
- 2 NEW STEEL COLUMN NATURAL PATINA
- 3 NEW CANOPY SYSTEM OVERHEAD
- 4 NEW STOREFRONT SYSTEM
- 5 REPAIR AND FILL EXISTING CONCRETE PAVEMENT
- 6 NEW SPIRAL STAIR TO UPPER DECK
- 7 CABLE RAIL GUARDRAIL SYSTEM
- 8 REFABRICATED CORNICE
- 9 MARQUEE SIGN LOCATION
- 10 NEW STEEL CANOPY & THE ROD SYSTEM W/LIGHTING
- 11 CANOPY FRAME
- 12 LIGHT FIXTURE
- 13 PRECAST CONCRETE PANEL AT COLUMN SMOOTH "WHITE" FINISH
- 14 SIMULATED PRECAST EIFS OVER FRAMED SYSTEM
- 15 SOFFIT LIGHT
- 16 EXISTING EXTERIOR BRICK WALL
- 17 PAN CHANNEL LETTERS WITH BACK LIGHT
- 18 COMPOSITE STEEL AND CONCRETE DECK OVER STEEL BEAMS

DATE PRINTED: \$DATE\$

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PROPOSED ELEVATIONS & FLOOR PLANS		DRAWING NO. A1.1
ACTIVITY: PROJ. NO.:	SHEET OF	CATALOG NUMBER:



NORTH ELEVATION



VIEWING SOUTHWEST



VIEWING SOUTHEAST



VIEWING SOUTHEAST AT NIGHT

DATE PRINTED: \$DATE\$ \$FILES\$



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	DRAWING NO. A1.2	CATALOG NUMBER:
ACTIVITY: PROJ. NO.:	SHEET OF	CATALOG NUMBER:

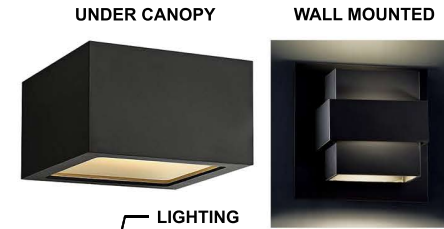


DOOR HANDLES



MARQUEE SIGN

SIGNS PAN CHANNEL
LETTERS BACK LIGHTED



UNDER CANOPY

WALL MOUNTED

LIGHTING



SOFFIT

SMOOTH FACE EIFS



GLASS/STOREFRONT OFFSET GLAZED SYSTEM



NATURAL PATINA STEEL

CANOPY SYSTEMS
POWDER COATED BLACK



PRECAST CONCRETE SMOOTH FINISH "WHITE"



COLOR AND MATERIAL PALLETE

<p>Call at least two full working days before the start of work.</p> <p>REGISTERED ARCHITECT</p> <p>JOSEPH VINCENT J. DAVAZA</p> <p>Member in good standing (license # 2001466) in Maricopa County (0002) 000-1100</p> <p>EXPIRES 3-31-20</p>	<p>JOB NO. 1721</p>	<p>adaptive ARCHITECTS</p> <p>401 West Main Street Suite 200 Mesa, AZ 85201 480-515-0013 www.adaptivearchitects.com</p>
	<p>CITY OF MESA ENGINEERING DEPARTMENT DOWNTOWN FACADE IMPROVEMENTS 41, 45, 47 WEST MAIN STREET MESA, AZ 85201</p>	
<p>ACTIVITY: PROJ. NO.:</p>	<p>SHEET OF</p>	<p>CATALOG NUMBER: DRAWING NO. A1.3</p>

**Design Review Board – Work Session Minutes
August 8, 2017**

E.2. DRB17-00115 45 W. Main St. Façade Improvement

LOCATION/ADDRESS: The 0-100 Block of West Main Street (south side)
REQUEST: This is a review of a façade improvement
COUNCIL DISTRICT: 4
OWNER: Laurent Teichman
APPLICANT: Jeff McVay, City of Mesa
STAFF PLANNER: Jeff McVay

Discussion: The Architect, Vince DiBella, presented the project to the Board.

Boardmember Sandstrom

- Felt that the project looked good, and appreciated the honesty in materiality

Chair Banda

- Felt it was a fun and nice building
- Confirmed with the applicant that simple light fixtures would be used, trapezoidal in shape comprised of brushed aluminum, as well as a few pole mounted aluminum lights
- Confirmed that there would be downlights off the entry feature, shining on the gabion wall

Boardmember Thompson

- Liked the building, liked the materials, and the four-sided architecture